



By
PPC GLOMAC SDN. BHD.



Company Brief

- PPC GLOMAC, is the name behind one of the largest and most prestigious projects of its kind, the billion dollar township of Bandar Sri Permaisuri. PPC GLOMAC is actively involved in all aspects of development and construction of the massive 220 acre project strategically located 5 kilometres from Kuala Lumpur City Centre, and has to-date completed more than 8000 residential and commercial units. PPC GLOMAC's reputation as one of the top developers in the country has been built on years of an unrivalled track record of developing premier projects in the country.
- PPC Glomac Sdn Bhd is a joint venture between Pembinaan Punca Cergas Sdn Bhd , a "Class A" civil construction engineering company, and Glomac Berhad, a public listed and established property developer group. With its excellent and successful track record of completing all its projects ahead of schedule, PPC Glomac Sdn Bhd has earned a strong reputation in the construction and development industry as a reliable, responsible and caring organisation that is committed to deliver its quality services for the benefit of its principals, employees and society.
- Major development projects undertaken by the holding and associated companies include:-
 - 169 ACRE FREEHOLD TOWNSHIP OF AMAN PUTRI, PREMIER COMMUNITY OF SUNGAI BULOH
 - RM 1.2 BILLION TOWNSHIP OF BANDAR SRI PERMAISURI IN KUALA LUMPUR
 - AMAN SURIA DAMANSARA – PREMIER GATED COMMUNITY TOWNSHIP
 - SURIA STONOR – EXCLUSIVE CONDOMINIUM WITHIN KUALA LUMPUR CITY CENTRE
 - BANDAR SAUJANA UTAMA - COMMUNITY THAT COMPRISES MORE THAN 1,000 ACRES OF LAND
 - SERI BANGI- GUARDED COMMUNITY IN BANDAR BARU BANGI
 - RM 450 MILLION GLOMAC TOWER
 - GLOMAC DAMANSARA – 15 STOREY OFFICE BLOCK, BOUTIQUE RETAILS AND OFFICE SUITES
 - GLOMAC GALLERIA IN SRI HARTAMAS
 - GLOMAC CYBERJAYA- LOCATED IN THE HEART OF CYBERJAYA'S FLAGSHIP ZONE
 - PLAZA GLOMAC BOULEVARD- KELANA JAYA COMMERCIAL HUB
 - WORLDWIDE BUSINESS PARK- 63 ACRE MEGA DEVELOPMENT
 - PLAZA KELANA JAYA – FIRST EVER WATER-FRONT PROJECT IN PETALING JAYA
 - THE RM50 MILLION GLOMAC BUSINESS CENTRE IN KELANA JAYA
 - THE RM 100 MILLION KELANA BUSINESS CENTRE IN KELANA JAYA
 - PRIMA 16 CONDOMINIUM - THE MOST PROMINENT LUXURY CONDOMINIUM IN PETALING JAYA
 - THE UPMARKET MAHKOTA WIRA CONDOMINIUM IN IPOH.
 - THE PRESTIGIOUS 334 ACRE TOWNSHIP OF TAMAN CHANDAN PUTRI IN KUALA KANGSAR.

Township Brief

- PPC GLOMAC now brings together all the possibilities of unique township planning and landscaping , dedication to safe living, commitment to lifestyle and daily convenience all in one place – Aman Putri
- Sprawling over 169 prime acres of freehold land is Aman Putri, a prestigious and upmarket development by PPC GLOMAC Sdn Bhd. Aman Putri epitomises nature living in the heart of Petaling Jaya, as highlighted by renowned property researcher Mr HoChin Soon and The EDGE Magazine. Aman Putri has been designated as one of the “HOT SPOTS OF PJ”. Aman Putri is nestled at the edge of lush tropical palms at the heart of Sungai Buloh and is the only freehold landed property still available in the vicinity. The community offers a unique lifestyle where modern living integrates with the pristine beauty of nature.
- Surrounded by royally unique gardens and one of the “Longest Linear Parks” in Malaysia, Aman Putri is designed by acclaimed award winning landscape architect, Malik Lip & Associates, winner of multiple landscape awards from both the Institute of Landscape Architects Malaysia (ILAM) and the International Federation of Landscape Architects (IFLA). Designed by “BCI Asia Top 10 Awards for 2009” winner, NRY Architects, Aman Putri’s architecture is timeless and unique , with an interior that incorporates nature into the living space creating a comfortable, relaxing and contemporary feel. Every unit is designed for the future vision of each owner, a unique aspect in design, minimizing the time and cost it would take to create the dream home. For the owner requirement of extra space, renovation programmes are made available.
- The traditional design of each Terrace and Villa creates a spacious home setting, in harmony with the multiple generation family lifestyle. The room designs caters to the individual needs of all family members, a setting ideal for active interaction, family fun and private relaxation. Interested homebuyers will have choices from a wide selection of Terrace designs and built-up areas.

Aman Putri will incorporate our gardens and recreational parks with playgrounds for the young and gym equipped par-courses for the aspiring fit and healthy. The lavish landscaping inspired by the pristine neighbouring tropical palms also presents a relaxing ambience for residents to enjoy, with modern landscaped back lanes behind your villas, natural landscaped jogging trails, a viewing deck, landscaped views and a meditative garden with complementing features around the township. A daily jog along one of the longest linear parks in Malaysia enjoying the fresh air and scenic tropical landscapes will be an Aman Putri resident privilege. Children are able to take walks, and cycle through the “green” landscaped back lanes to the linear parks without going through any main roads to ensure maximum safety.



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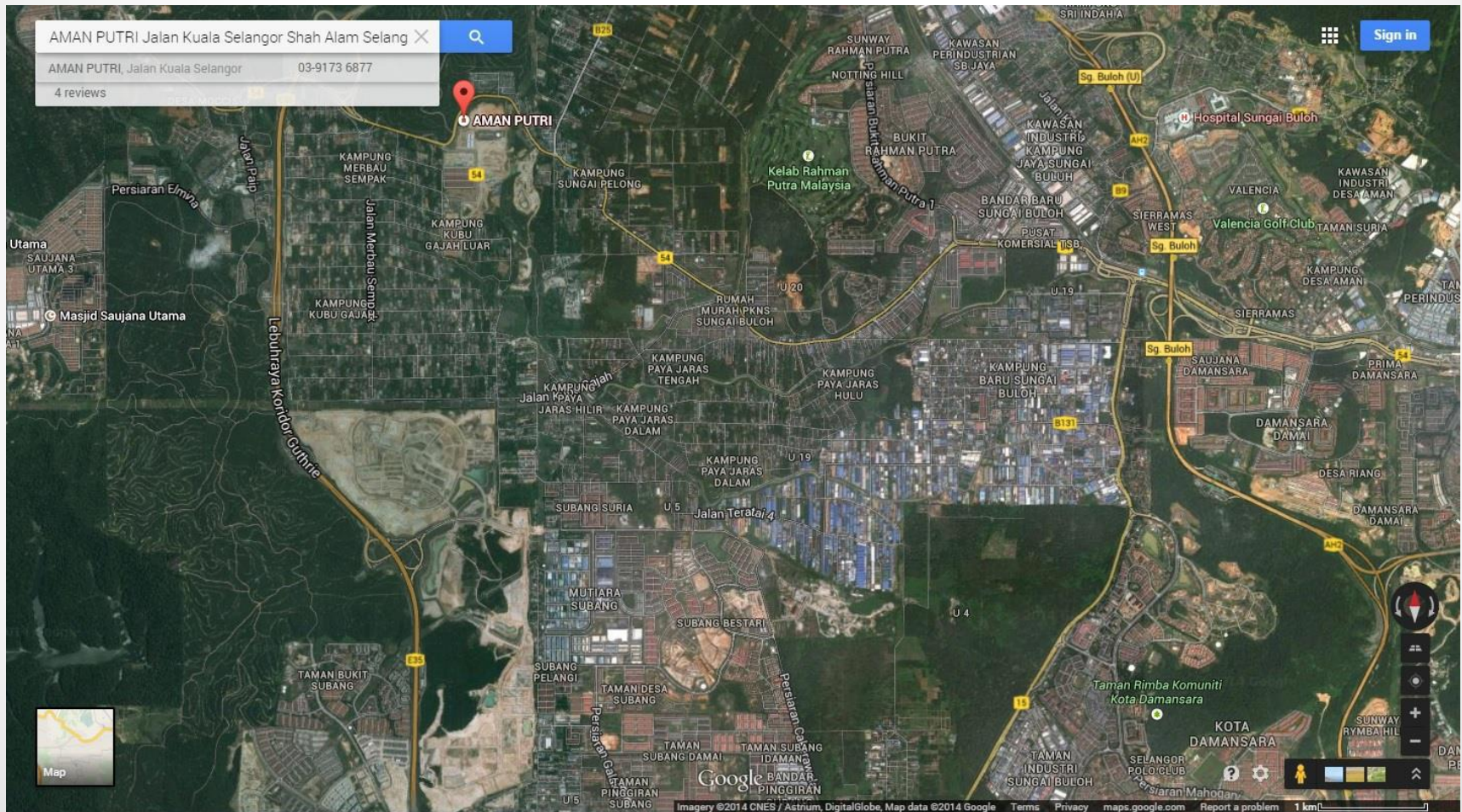
Overall Site Plan



All art rendering and pictures are artist's impression only. The information contained herein is subject to change without notification as may be required by the relevant authorities or developer's architect.

LOCATION

GPS: N 3° 21' 34.64" E 100° 52' 29.85"



- Ideally situated within the mature and well-developed neighbourhood of Sungai Buloh, Aman Putri is conveniently accessible via the New Klang Valley Expressway, LDP and Guthrie Corridor just minutes away, granting easy access to KL city and Petaling Jaya. The KTM station being minutes away means hassle free transportation for all residents.

Aman Putri is surrounded by populated estates such as Valencia, Sierramas, Bandar Baru Sungai Buloh and Bukit Rahman Putra etc. Residents have a myriad of amenities at their convenience.

Located within the bustling Sungai Buloh catchment, Aman Putri has every convenience within reach. Shopping malls such as 1 Utama, The Curve and The Store are just minutes away. Other facilities include educational institutions such as ELC International School and medical centers, namely Sungai Buloh Hospital and Putra Medical Centre.



24' X 75' VILLA

LIVING IN A HOME WITHIN A 1.2KM LINEAR PARK



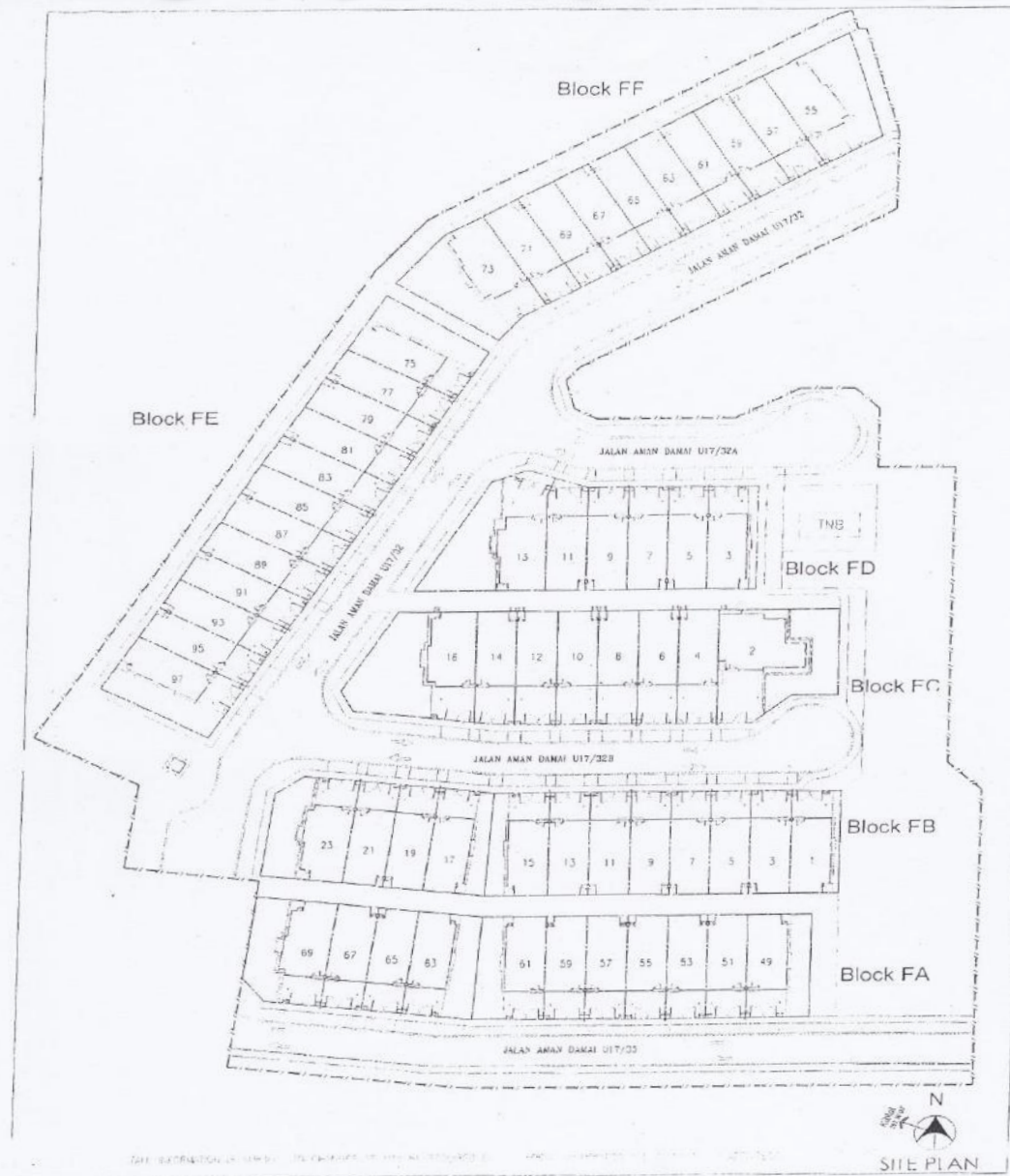
Product Brief (24 x 75 VILLA)

- Aman Putri's current phase is an elegant and timeless home comprise of 59 units of freehold 2 storey terrace homes on a land area of 24'x75'. Large and spacious built-up area from 2,504sf featuring 4+1rooms design with double volume ceiling at living room area.
- Placed on an elevated terrain and paired with spacious green area nearby,creates an ideal home setting further enhanced in a cul-de sac enclosure for a more comfortable and relaxing living environment.
- North & South direction oriented units.
- Limited South-East oriented units.
- Short driving distance to existing Sg. Buloh MRT / KTM Commuter station
- 1.2 km Linear Park in Aman Putri
- Easy access via Guthrie Corridor, NKVE and Jalan Kuala Selangor

Overview



Overview Plan



Layout (Corner)



AMAN PUTRI 24X75 TYPE C | GROUND FLOOR PLAN
SCALE 1:300



AMAN PUTRI 24X75 TYPE C | FIRST FLOOR PLAN
SCALE 1:300

Layout (Inter)

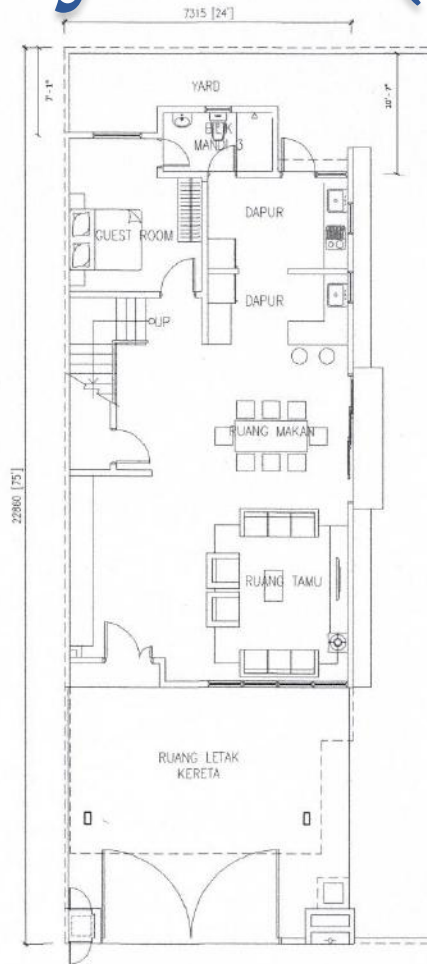


AMAN PUTRI 24X75 TYPE A | GROUND FLOOR PLAN
SCALE 1:100

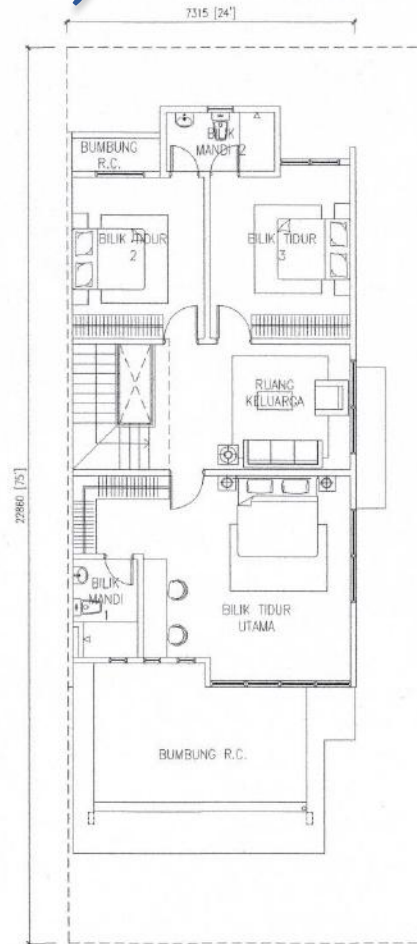


AMAN PUTRI 24X75 TYPE A | FIRST FLOOR PLAN
SCALE 1:100

Layout (End) – Block FE



1 GROUND FLOOR PLAN
SCALE 1:100@A3

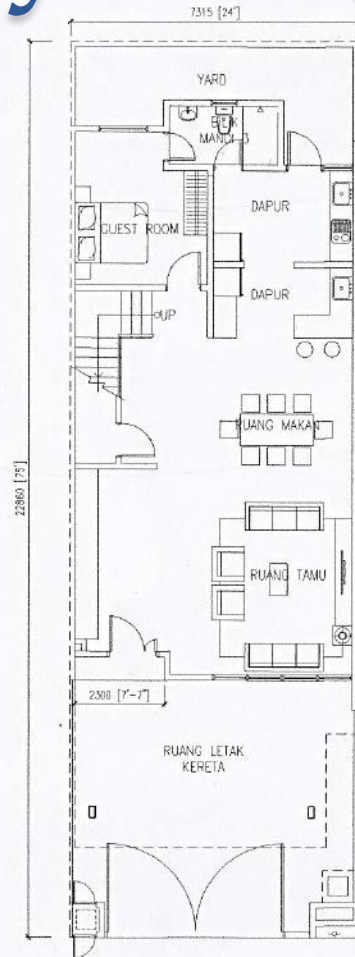


2 FIRST FLOOR PLAN
SCALE 1:100@A3

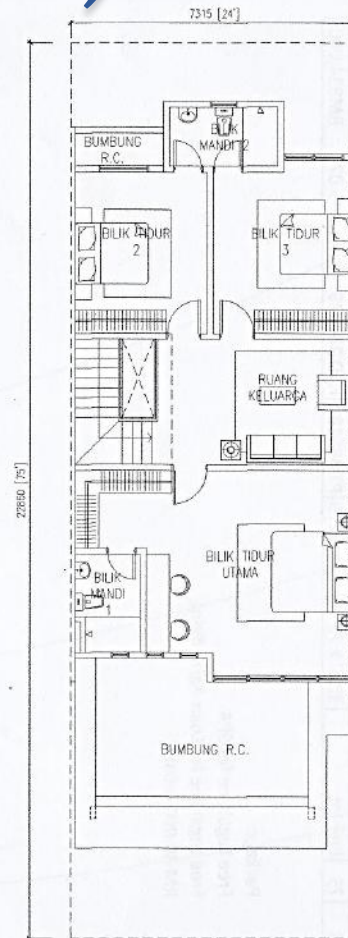
2275.54 SQFT

END UNIT

Layout (Inter) – Block FE



1 GROUND FLOOR PLAN
SCALE 1:100@A3



2 FIRST FLOOR PLAN
SCALE 1:100@A3

= 2264.28 SQFT

INTERMEDIATE

Dining



Bedroom



Living



Sales Package

- Free legal fee for S&P Agreement*
- Free legal fee for loan agreement*
- Bumi discount = 7%
- Non bumi discount = RM 30,000
- Lock-in unit (booking) = RM20,000

* Developer panel lawyer only